



6.26.20

Angel Anguiano, Assistant Planner
City of Sacramento Community Development Department
300 Richards Blvd., 3rd Floor
Sacramento, CA 95811

RE: Villa Jardin/Coral Gables (IR20-144)

Dear, Mr. Anguiano,

WALKSacramento reviewed the project routing for Villa Jardin/Coral Gables (IR20-144), and we appreciate the opportunity to offer comments.

WALKSacramento works to improve the Sacramento region's health and well-being through healthy community design, transportation, and land-use best practices that support walking and bicycling. Pedestrian circulation, resident engagement with design elements, safe streetscape, and open space opportunities are part of the recommendations to help create a stronger sense of cohesion and safety for this project.

The Villa Jardin/Coral Gables project proposes the rehabilitation of 44 units at the existing Villa Jardin apartments and the construction of 38 new residential units and a community building on the Coral Gables parcels. The project site is located just north of the Pannell Meadowview Community Center, is surrounded by single-family residential, and the Meadow Glen Apartments directly to the west of the project. Additionally, Sacramento Regional Transit (SacRT) bus route 56 has a stop about 400 feet east of the southern edge of the property. The Meadowview light rail station is 1/2 a mile away from the existing Villa Jardin Apartments, and the project site is within the SmaRT rideshare service area. The comments will illustrate how the design of this site can impact how residents walk and interact with the various forms of available transportation and amenities available within the project site.

It is important to note that the site plans do not provide clear markers for identifying individual buildings. Therefore, I provided a visual of the site plan for recommendations with letters designating the existing buildings. The project site is within census tract 4203, where 63.9% of residents engage in physical activity or exercise outside of their work. The project's addition of a community center and upgrading the recreational area as part of the new development will support this area's active members. The current pedestrian circulation system shows that Existing Buildings A, B, and C along the eastern edge of the property line lack adequate connections to the proposed common spaces, which will make it difficult for some people to access them safely. Putting a crosswalk and sidewalk connecting Building A to the community center and trash enclosures will allow for a safe and useful route for residents to access these open spaces. Buildings B and C have no direct and safe path for individuals with mobility disabilities to be able to access the new amenities safely. More time should be spent improving the connectivity from Buildings B and C to the common spaces being developed.

The entire Villa Jardin/Coral Gables project will be fenced and have gated entrances for pedestrian and vehicle access. The site plan indicates that two new pedestrian gates would be placed at the end of the cul de sac. Yet, the pedestrian access along Meadowview Road between Building D and E has no gate, and the site plan shows a door but does not note that a new gate will be present. Similarly, there is no pedestrian gate near the sidewalk of Building A to Coral Gables Court, and no proposal of a gate is made. With 8.8% of the census tract

population commuting to work via transit, walking, or biking, safe and secure access to the project site must be afforded. Since there is a sufficient amount of commuting, accessibility should also be considered. Buildings F and G have no immediate connection to Meadowview Road. Currently, residents have to cross the driveway, which has no crosswalk markings to proceed to the existing pedestrian exit between Buildings D and E. Limiting the number of entry points makes it harder for residents to access transit stop or light rail station in the neighborhood.

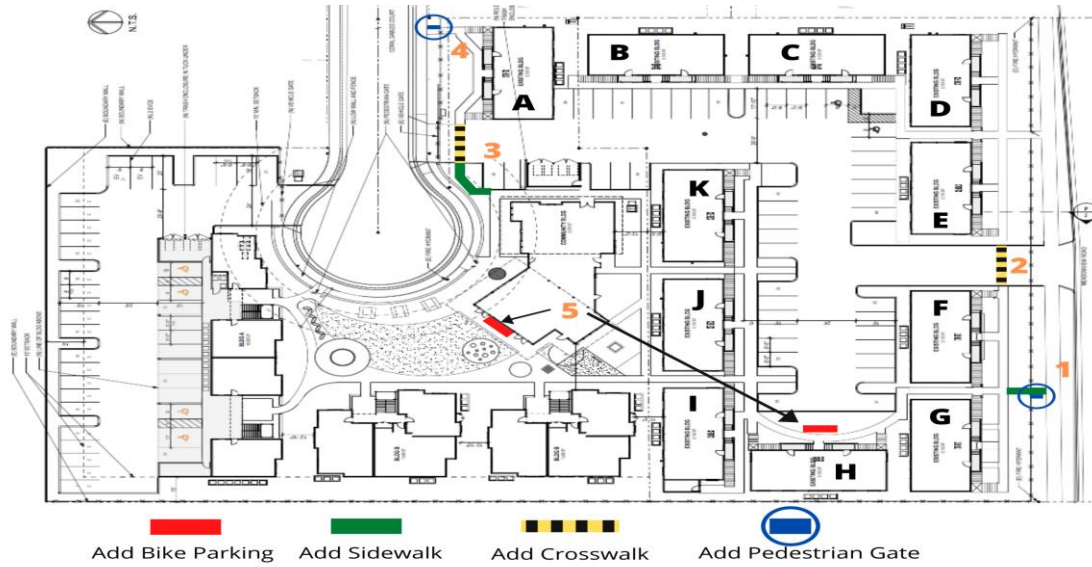
Lastly, the site plan does not indicate or show where bicycle parking will be placed for cyclists. Installing bike parking would not only meet the requirements set by the City, but also provide a space for people to lock their bikes instead of securing them to trees or poles that could block the existing walking paths. Placing them along the community center's west entrance would fulfill the requirement and provide close and direct access to the surrounding units.

Guaranteeing that the project design seeks dependable, convenient, and friendly areas for pedestrians and cyclists by reducing risks and increasing accessibility will enhance the built environment for all.

WALKSacramento makes the following recommendations:

1. **Add a sidewalk and pedestrian gate between Building (F&G) to Meadowview Road.** This will provide pedestrians connections to Meadowview Road, transit stops, and the Pannell Meadowview Community Center.*
2. **Add a crosswalk on the driveway between building E&F** giving a connection to existing pedestrian gate exit to Meadowview Road and safe route to the community center and recreation area within the development.*
3. **Add a crosswalk and sidewalk connecting residents from Building A to the Community Building and trash enclosure.** Will provide a safe route for residents to access these amenities.*
4. **Add a pedestrian gate near the sidewalk of Building A to Coral Gable Court.** Provides safe entry point and access to Coral Gable Court.*
5. **Add bike parking along the west entrance of the community center and in front of Building H,** limiting the number of bikes being locked to trees and poles.*

*Recommendations are plotted in the site plan.



Thank you for your consideration of these comments and recommendations. If you have questions or need additional information, please contact me at (916) 446-9255.

Sincerely,

Isai Palma
Project Assistant