



9/11/2019

VIA EMAIL

Jose Quintanilla, Assistant Planner  
City of Sacramento Community Development Department  
300 Richards Blvd, 3<sup>rd</sup> Floor  
Sacramento, CA 95811

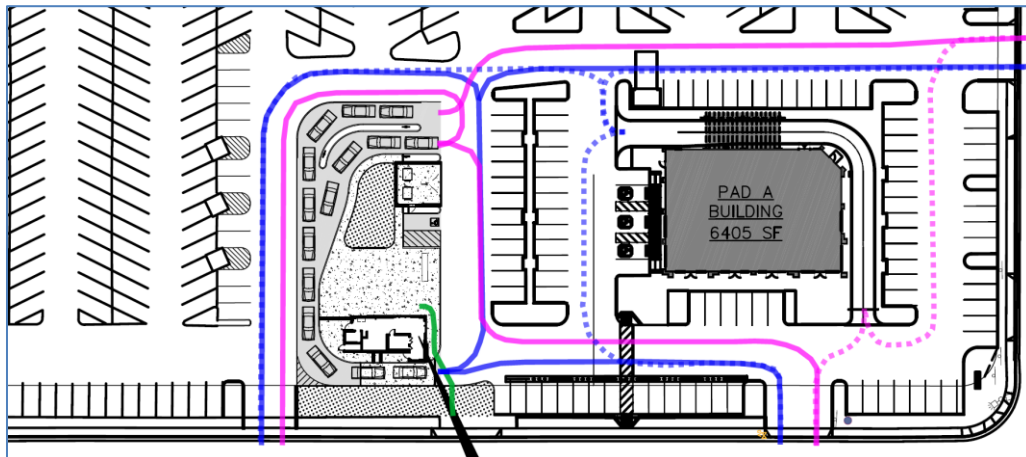
**RE: Dutch Bros Stockton Blvd (P19-039)**

Dear Mr. Quintanilla:

Thank you for providing the 7/8/2019 revised site plan for Dutch Bros Stockton Blvd (P19-039). Our comments on the original routing noted several issues with the proposal. First, the Broadway/Stockton Urban Design Plan discourages drive-through restaurants. Second, the project would construct a use that is primarily auto dependent. Third, the walkup window will not activate the street, even if pedestrian access is provided as the window isn't visible from the street. We recommended revising the site plan so the walkup window and outdoor seating area are facing the street, i.e. in front of the building, and the drive-up window is facing away from the street, i.e. behind the building.

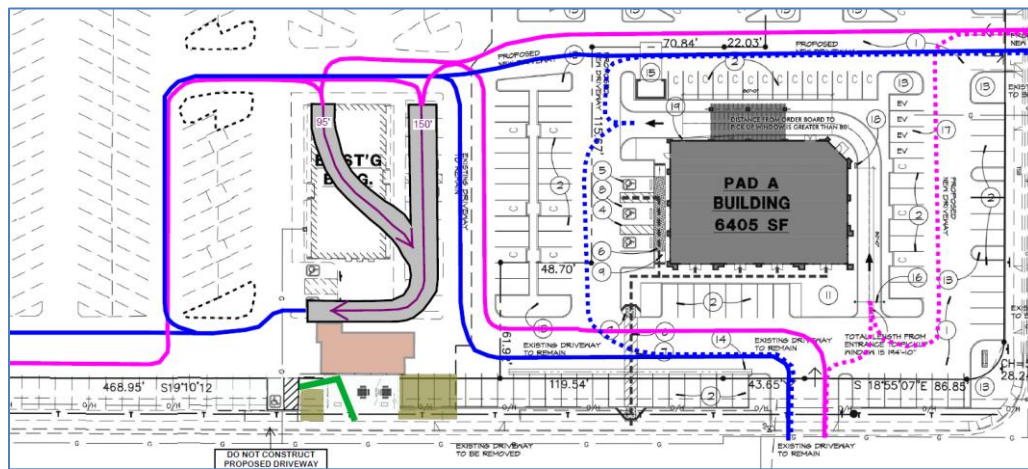
The revised site plan added a walkway from the Stockton Boulevard sidewalk that crosses the drive-through lane exit at an angle and connects to the outdoor seating area and walkup window. We appreciate that a path of travel was added and the landscaped area between the drive-through lane and the sidewalk was retained. However, the project will still do little to activate the street nor will it serve pedestrians well.

Figure 1 shows the project site as proposed within the approved northeast section of the shopping center site. The green represents pedestrian access; violet lines represent vehicle ingress with solid for Dutch Bros and dashed for 5050 Stockton Blvd drive-through; blue lines represent vehicle egress with solid for Dutch Bros and dashed for 5050 Stockton Blvd drive-through.



*Figure 1 Pedestrian and Vehicular Access at Proposed Dutch Bros and Approved 5050 Stockton Blvd*

WALKSacramento recommends revising the site plan as shown in Figure 2 below and the attached drawing. (Note: The site plan for the shopping center from the 5050 Stockton Boulevard project Record of Decision was used for clarity.) This arrangement of the building, outdoor seating and drive-through lanes presents a street-facing pedestrian use, eliminates pedestrian conflicts at the drive-through lane exit, maintains a convenient and short-distance path of travel from the ADA parking space, and reduces the number of driveways on Stockton Boulevard. Though the recommendations illustrated below would require three new landscape islands, the new driveway at the south end of the project site wouldn't be constructed.



*Figure 2 Recommended Revisions to Site Plan*

Other benefits include a seating area that would have afternoon shade from the building, and the parking row immediately south of the project site would remain diagonal rather than being restriped for perpendicular spaces.

We would be happy to discuss our recommendations with the City and/or the applicant in order to achieve a site plan that's more pedestrian-serving and better meets the vision, goals and recommendations of the Broadway/Stockton Urban Design Plan.

Sincerely,

Chris Holm  
Project Analyst

Attached: Recommended Revisions to Site Plan



KEY NOTES

- 1 PAVING (ASPHALT AND/OR CONCRETE) SEE CIVIL DRAWINGS FOR LOCATIONS, THICKNESS AND RELATED INFORMATION
- 2 PARKING STALL STRIPINGS NEW OR EXISTING. INSTALL NEW PER CITY STANDARDS OR INSTALL PER CITY STANDARDS
- 3 HANDICAP PARKING STALL STRIPINGS NEW OR EXISTING. REFER TO CIVIL DRAWINGS OR INSTALL PER CITY STANDARDS
- 4 4" WIDE DIAGONAL STRIPINGS SPACED AT 9'-0" O.C. WITH TWO (2) COATS HIGHWAY "NOTICE BLUE" PAINT
- 5 PAINTED ACCESSIBILITY SYMBOL PER CITY STANDARDS
- 6 DENOTES ACCESSIBLE PATH OF TRAVEL FROM PUBLIC WAY TO MAIN BUILDING(S) ENTRANCE. SLOPE ALONG PATH OF TRAVEL SHALL NOT EXCEED 8%, 2% GRADIENTS ALONG PATH OF TRAVEL. CURB RAMP, NO ABRUPT CHANGES IN ELEVATIONS ALONG THE PATH OF TRAVEL
- 7 STRIPED CROSSWALK WITH 4" WIDE "NOTICE BLUE" PAINTED DIAGONAL STRIPINGS AT 5'-0" O.C. TWO (2) COATS
- 8 HANDICAP "VAN" PARKING STALLS, INSTALL ACCESSIBILITY SIGNAGE PER CITY STANDARDS
- 9 CONCRETE CURB RAMP. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
- 10 NOT USED
- 11 NEW CONCRETE SIDEWALK, CURB & GUTTER, SLAB, ETC. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION
- 12 NOT USED
- 13 LANDSCAPE AREA. REFER TO LANDSCAPE DRAWINGS
- 14 CONCRETE SWALE. REFER TO CIVIL DRAWINGS
- 15 TRASH ENCLOSURE PER CITY STANDARDS. REFER TO CIVIL DRAWINGS
- 16 DRIVE-THRU CLEARANCE BAR. REFER TO CIVIL DRAWINGS
- 17 EV CHARGING STATIONS
- 18 ORDERING POINT / MEN BOARD
- 19 PICK-UP WINDOW

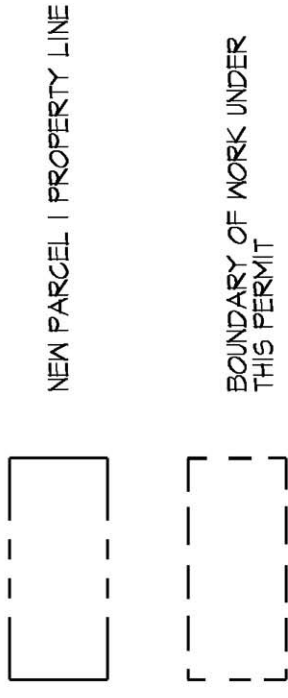
VICINITY MAP



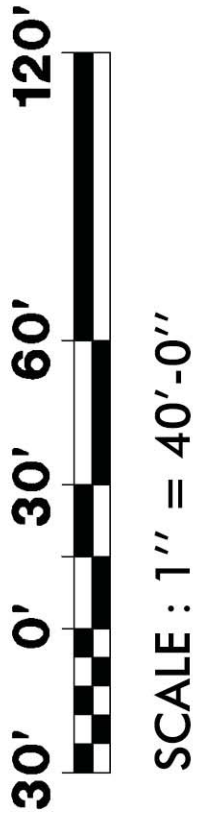
PARCEL SITE AREA - 58194 SF.

PARKING STATISTICS:

TOTAL EXISTING BUILDING AREA	129,394 SF
TOTAL EXISTING PARKING PROVIDED	635 (4.91/1000 SF.)
TOTAL PROPOSED BUILDING AREA	131,383 SF
TOTAL PROPOSED PARKING	622 (4.73/1000 SF.)

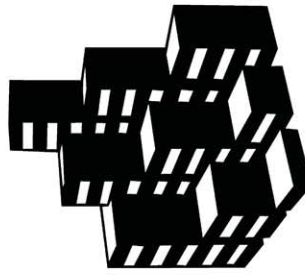


NOTE:  
SHADED AREA INDICATES THE  
EXTENT OF SHOP BUILDING PAD A



SITE PLAN

STOCKTON & LAWRENCE  
SACRAMENTO, CALIFORNIA



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